

Property

649 Wood Dr.
Glenview, IL 60022

Client

John Doe

Date & Time

02/01/2019 1:00 pm



Wilson Georges License # 450.011028
Dave Caton License # 450.011997

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Thank you for the opportunity to conduct a home inspection of the property listed above. We understand that the function of this report is to assist you in understanding the condition of the property to assist in making an informed purchase decision.

The report contains a review of components in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior. Additional categories may or may not be included. The report is designed to be easy to read and comprehend however it is important to read the entire report to obtain a full understanding of the scope, limitations and exclusions of the inspection.

In addition to the checklist items of the report there are several comments which are meant to help you further understand certain conditions observed. These are easy to find by looking for the icons along the left side margin. Comments with the orange triangle icon are major issues that are of an immediate concern and are included in the summary section. Comments with the blue icon are minor issues of lesser significance, but still require repair or replacement. Please read them all.

DEFINITION OF CONDITION TERMS

Satisfactory: At the time of inspection the component is functional without observed signs of a substantial defect.

Marginal: At the time of inspection the component is functioning but is estimated to be nearing end of useful life. Operational maintenance recommended. Replacement anticipated.

Repair or Replace: At the time of inspection the component does not function as intended or presents a Safety Hazard. Repair or replacement is recommended.

Further Evaluation: The component requires further technical or invasive evaluation by qualified professional tradesman or service technician to determine the nature of any potential defect, the corrective action and any associated cost.

Report Summary

This is a summary of items, solely in the opinion of the inspector in need of immediate concern. It is not the full report. All items below, plus items not fully visible or those whose visibility is limited should be evaluated and addressed by a licensed professional. The full account of the home's condition, including those components that operate but may be nearing failure, is listed in the body of the report, which should be read carefully and promptly by the client. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your real estate agent or an attorney.

Roofing

1) Downspouts should extend a min of 4-6' from the structure to reduce the risk of water penetration, settlement and structural damage. Evidence of water infiltration noted in crawlspace.



Figure 1-1



Figure 1-2

(Report Summary continued)



Figure 1-3



Figure 1-4

Grounds

2) The driveway expansion joint that separates concrete slabs are not sealed properly. Resulting in movement of the slabs due to frost heaving and becoming a trip hazard.



Figure 3-1



Figure 3-2

(Report Summary continued)



Figure 3-3



Figure 3-4

3) A negative grading in front walkway of the home is leading water towards the front stoop and foundation.



Figure 4-1

(Report Summary continued)

Exterior

4) Damage to the front stucco and wood planks (2" x 4") are nailed to front stucco. We Recommend having a licensed professional to evaluate before closing. See attic section.



Figure 6-1



Figure 6-2

Structure: Attic

5) There is frost buildup on the front wall of the attic. Damage to the front exterior in this area has been temporarily repaired with 2x4 boards. We recommend the front of the home and this section of attic be evaluated for repair by a qualified building contractor to prevent further water damage.

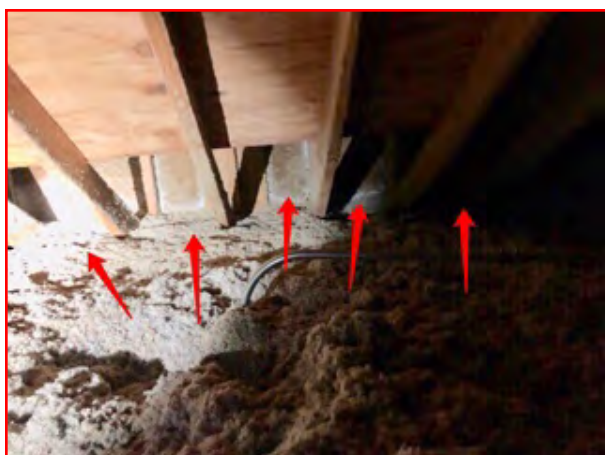


Figure 8-1

6) The bathroom exhaust vents have been detached from the ductwork. Bath vents should be ducted to the outdoors to reduce the risk of moisture and mold problems.

(Report Summary continued)



Figure 9-1

Structure: Crawlspace

7) There is evidence of rodent activity. We recommend evaluation by a pest control professional.



Figure 12-1



Figure 12-2

(Report Summary continued)



Figure 12-3

8) Dryer vents should have smooth metal interior to reduce the risk of lint buildup and allow for routine cleaning. Dryer lint is a combustible material. Dryer exhaust ducts should be kept clean for safety.



Figure 13-1

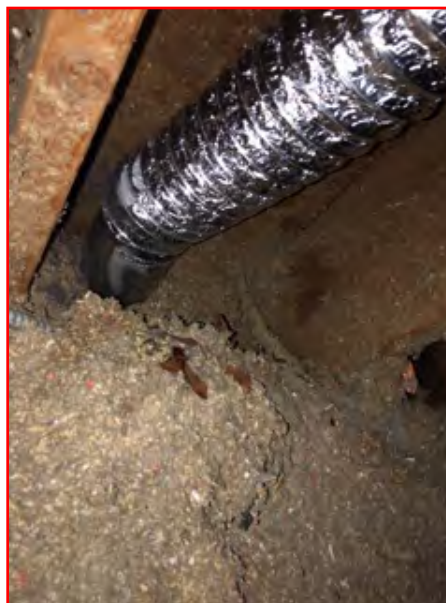


Figure 13-2

9) The gas line feeding the west fireplace has no accessible shutoff.

(Report Summary continued)



Figure 15-1



Figure 15-2

10) There is an active leak and heavy corrosion on a copper water supply pipe in the south central part of the crawlspace. We recommend all water supply fittings in the crawlspace be evaluated by a licensed plumber. Active leaks should be repaired promptly.



Figure 16-1



Figure 16-2

(Report Summary continued)



Figure 16-3

11) There is galvanic corrosion on the water pipes at numerous joints and fasteners. We recommend all visible water pipes be evaluated by a qualified plumber. Any improper hangers should be replaced with correct ones to reduce the risk of electrolysis and eventual leaks.



Figure 17-1



Figure 17-2

(Report Summary continued)



Figure 17-3

12) There are loose, poorly supported and uninsulated HVAC ducts in the crawlspace. Signs of water below ducts can indicate poor management of condensate runoff. We recommend ductwork be evaluated by a licensed HVAC professional. See comments on HVAC "distribution" section of report.



Figure 18-1



Figure 18-2

(Report Summary continued)

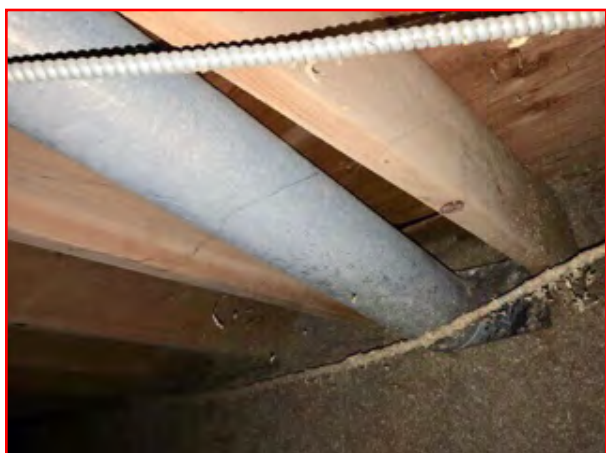


Figure 18-3

13) There is a leak at a union in the black waste line in the crawlspace. We recommend evaluation for repair by a qualified plumber.



Figure 19-1



Figure 19-2

14) There are 3 or more cracks in the foundation. These should be evaluated for repair by a qualified basement waterproofing/structural professional.

(Report Summary continued)

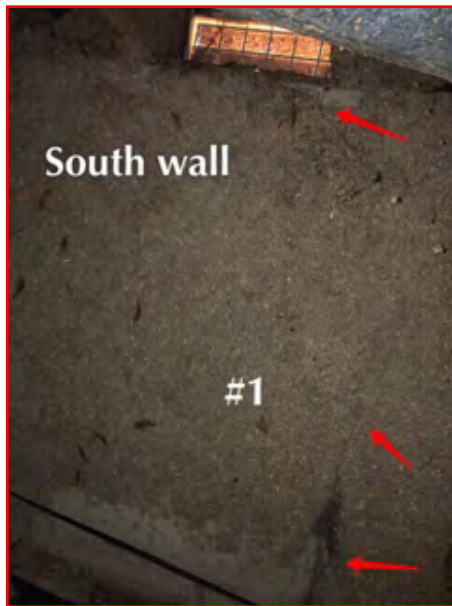


Figure 20-1



Figure 20-2



Figure 20-3



Figure 20-4

(Report Summary continued)



Figure 20-5



Figure 20-6

15) The main floor toilet is loose and leaking on to the HVAC ductwork below. We recommend repair by a qualified plumber and professional cleaning of the ductwork.



Figure 21-1



Figure 21-2

16) The joist below the main floor toilet has been improperly notched to accommodate the waste drain. The remaining joist has split through. This should be evaluated by a qualified building contractor prior to repairs of the toilet.

(Report Summary continued)



Figure 22-1



Figure 22-2

17) There is an incorrectly installed p-trap/vent in the main waste drain. This should be removed by a qualified plumber to prevent toxic sewer gasses from entering the crawlspace.

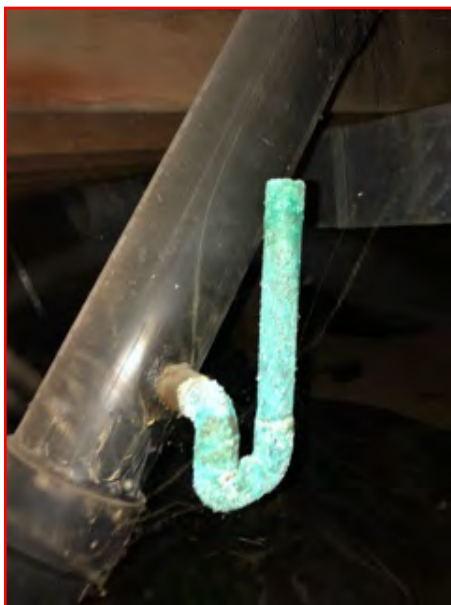


Figure 23-1



Figure 23-2

(Report Summary continued)

HVAC: Distribution System

18) One of the supply ducts in the crawlspace is not correctly installed. Conditioned air is being supplied to the crawlspace rather than the kitchen heat register above. We recommend the ductwork in the crawl space be evaluated by a HVAC professional.



Figure 28-1



Figure 28-2

(Report Summary continued)

Plumbing

19) The check valve in the sump drain line is leaking.



Figure 30-1



Figure 30-2



Figure 30-3



Figure 30-4

(Report Summary continued)

Bathrooms: Bathroom (Master Bedroom)

20) The drainage in the tub is not sufficient to keep up with the flow of water.

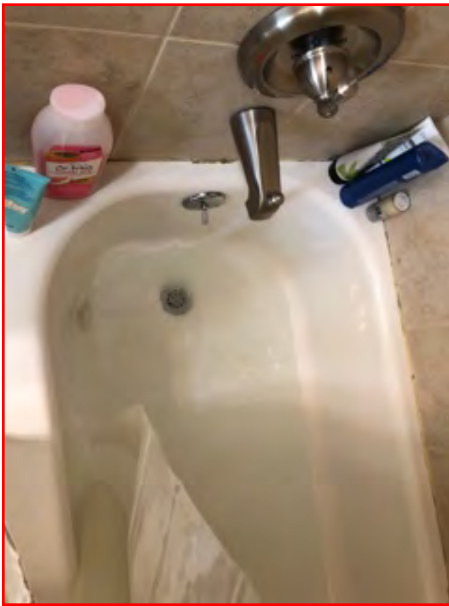


Figure 31-1

Bathrooms: Bathroom #2

21) The toilet is loose at the floor and requires sealant at the base.



Figure 34-1

(Report Summary continued)

Bathrooms: Half Bathroom

22) The toilet is loose at the floor and requires sealant at the base.



Figure 35-1

Kitchen

23) The shut off valve for the stove gas line is inoperable. The black pipe gas line is too long and obstructing the stove from seating flush.

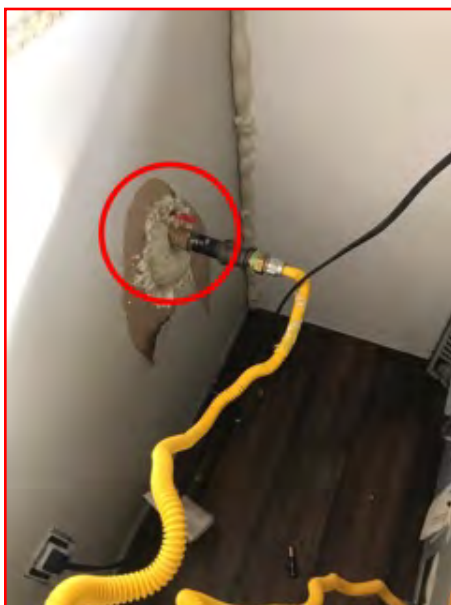


Figure 36-1



Figure 36-2

(Report Summary continued)



Figure 36-3



Figure 36-4

24) Signs of rodents /mice dropping behind the stove. Recommend having a licensed exterminator to evaluate.

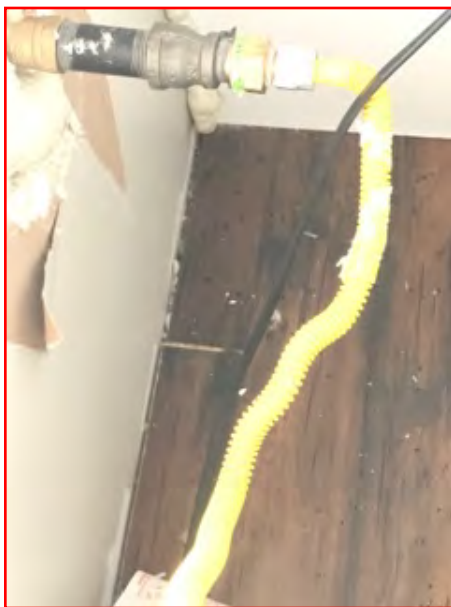


Figure 37-1

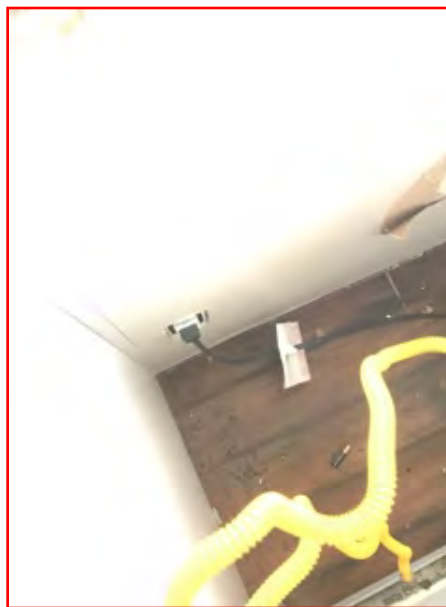


Figure 37-2

25) Settlement crack with signs of past moisture along the tapping of the ceiling drywall.

(Report Summary continued)



Figure 38-1

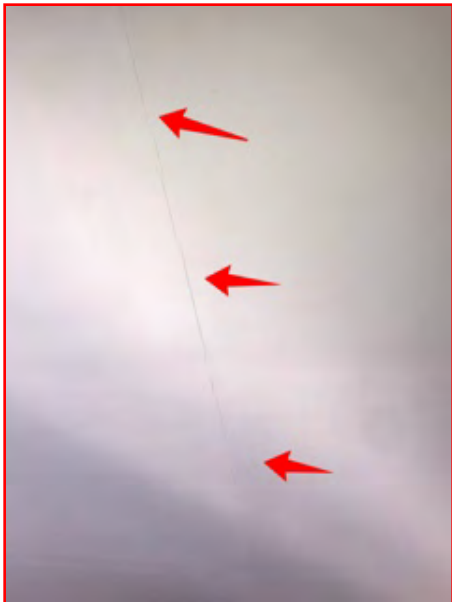


Figure 38-2

Kitchen: Appliances

26) A high drain loop is needed to be installed 32" above the floor level or an air gap must be installed. To prevent a back flow of dirty water entering the dishwasher.



Figure 39-1



Figure 39-2

(Report Summary continued)

Living Room

27) the closet folding doors are off their track and damaged.



Figure 40-1



Figure 40-2

28) The return vent opening is larger than the vent, allowing heat to escape between the drywalls.



Figure 42-1

(Report Summary continued)

Dining Room

29) The french doors leading to sun room are interior doors with a large gap, allowing heat to escape to the sun room. The sun room is not heated nor has proper insulation. We recommend having a sealed exterior grade door to prevent the huge heat loss.



Figure 43-1

(Report Summary continued)

Sun Room

30) Signs of water penetration on the northeast side of the sun room.



Figure 44-1

31) Signs of water penetration under the carpet of the sun room.

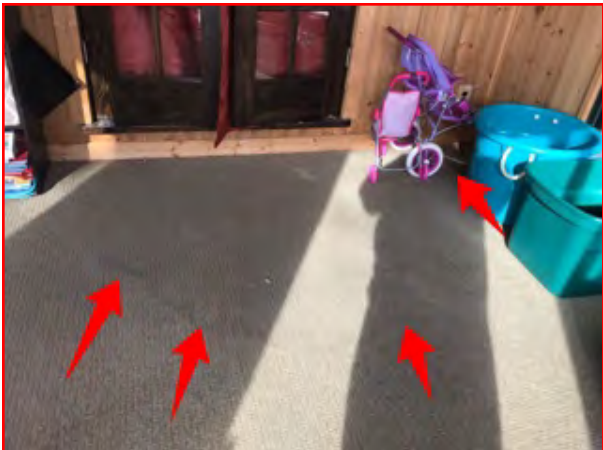


Figure 45-1

(Report Summary continued)

Family Room

32) Settlement crack in the south wall.



Figure 47-1

Family Room: Fireplace

33) Recommend a professional to clean and evaluate the fireplace before usage. There is a build up of soot along the walls.

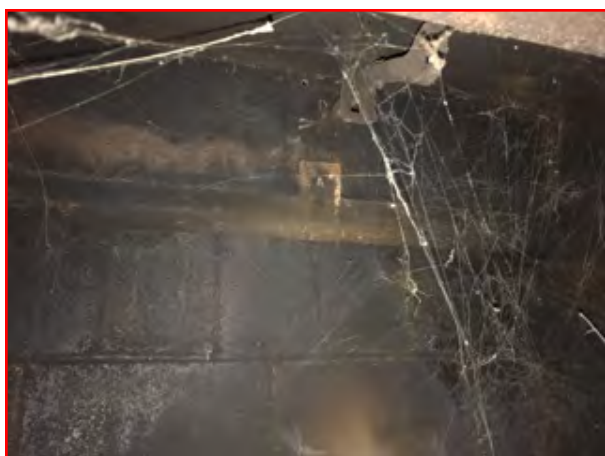


Figure 48-1



Figure 48-2

34) A gas supply pipe is installed with in the ash pit but no Gas Starter Access was discovered.

(Report Summary continued)



Figure 49-1

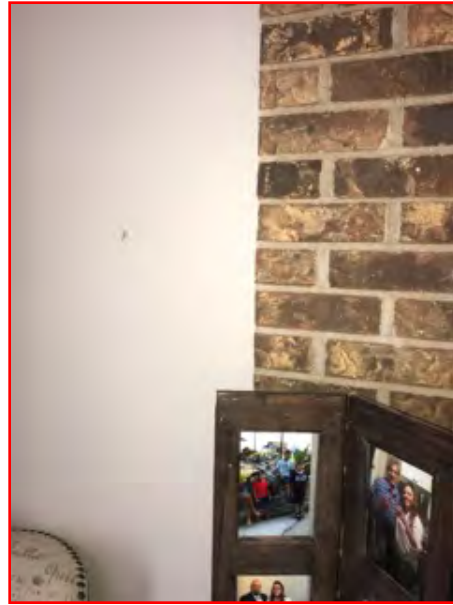


Figure 49-2



Figure 49-3

(Report Summary continued)

Hallway

35) Bunched carpet at the top of the stairs is a potential trip hazard. The carpet should be re-stretched.



Figure 50-1

(Report Summary continued)

Stairs

36) The handrail is loose.



Figure 51-1

Laundry

37) Ground fault circuit interrupter (GFCI) outlets needed in laundry area.



Figure 56-1

38) Framing and drywall around the laundry hook up is damaged and exposing pipes.

(Report Summary continued)



Figure 57-1

General

Date & Time:	Friday February 1 at 01:00 PM
Approximate Age:	42 Years (1977)
Property Type:	Single Family
Property Faces:	North
Weather:	Sunny
Temperature:	30-45 degrees
Soil Condition:	Snow
Occupied:	Yes
Buyer Present:	Yes
Utilities On During Inspection:	Electric Service, Gas Service, Water Service
Inspected By:	Wilson Georges / 450.011028, Dave Caton / 450.011997

Roofing

The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. Roofs can contain hidden defects that only occur in specific conditions and therefore not observed during an inspection. The purpose of the inspection is to determine general condition, NOT to determine life expectancy.

All roof coverings require regular evaluation and routine maintenance. This inspection is not a warranty of the roof system or how long it will be watertight. Buyers are recommended to inquire about the history of roof leaks with the current owner.

(Roofing continued)

Roof images for reference:



Not Inspected:	Due to weather conditions
Inspection Method:	From Ground with Binoculars
Visibility:	None
Limited By:	Snow
Roof Design:	Gable
Roof Material:	Not Fully Visible
	Condition: Further Evaluation Required
Approximate Roof Age:	Not fully visible

(Roofing continued)

Ventilation Present:	Roof Condition: Further Evaluation Required
Plumbing Vent :	Plastic Condition: Not fully visible
Sky Lights:	No Condition: N/A
Roof Flashings:	Not Fully Visible Condition: Not fully visible
Soffit and Fascia:	Aluminum Condition: Satisfactory
Gutters & Downspouts:	Metal Condition: Repair or Replace
Chimney Type:	Masonry Condition: Satisfactory
Chimney Flue:	Not fully visible, Interior of flues and chimneys are impossible to fully view. A chimney professional should evaluate the flue and the chimney prior to closing. Condition: Further Evaluation Required



Comment 1:

Downspouts should extend a min of 4-6' from the structure to reduce the risk of water penetration, settlement and structural damage. Evidence of water infiltration noted in crawlspace.

(Roofing continued)



Figure 1-1



Figure 1-2



Figure 1-3



Figure 1-4

(Roofing continued)

i Comment 2:
Downspout needs to be extended 6' away from the property to prevent water infiltrating the foundation.



Figure 2-1



Figure 2-2



Figure 2-3

The visible condition of the chimney covering, crown, and cap are inspected. Chimneys can contain hidden defects that only occur in specific conditions and therefore not observed during an inspection. The purpose of the inspection is to

(Roofing continued)

determine general condition.

Grounds

The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

Unable To Fully View The Grounds
Due To Snow Coverage :



(Grounds continued)

Site Grading:	Unable to determine
Vegetation:	Generally Maintained
Driveway:	Concrete Condition: Repair or Replace
Walkways:	Concrete , Pavers Condition: Not fully visible
Front Steps/Stoops:	Concrete Condition: Repair or Replace
Back Steps/Stoops:	Concrete, Stone Condition: Not fully visible
Garage Entrance /Steps:	Concrete Condition: Not fully visible



Comment 3:

The driveway expansion joint that separates concrete slabs are not sealed properly. Resulting in movement of the slabs due to frost heaving and becoming a trip hazard.



Figure 3-1



Figure 3-2

(Grounds continued)



Figure 3-3



Figure 3-4



Comment 4:

A negative grading in front walkway of the home is leading water towards the front stoop and foundation.



Figure 4-1

Water is destructive and any home without 3 foundation protections - gutters, positive grade and drain tiles - is subject to water penetration.

Exterior

The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building.

Images For Reference :



Exterior Covering:

Brick, Vinyl Siding

Condition: Satisfactory

Windows Material (Exterior) :

Aluminum , Aluminum wrapped

Condition: Satisfactory

Front Entry Door:

Steel

Condition: Satisfactory

(Exterior continued)

Front Screen Door:	Steel Condition: Satisfactory
Back Entry Door:	Steel Condition: Satisfactory
Back Screen Door:	Steel Condition: Satisfactory
Garage Entry Door:	Steel Condition: Satisfactory
Outside Spigots:	Yes, Operated Condition: Repair or Replace


 **Comment 5:**
No anti-siphon device discovered on spigots. This could lead to cross contamination.



Figure 5-1

(Exterior continued)



Comment 6:

Damage to the front stucco and wood planks (2" x 4") are nailed to front stucco. We Recommend having a licensed professional to evaluate before closing. See attic section.



Figure 6-1



Figure 6-2

Structure

The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection.

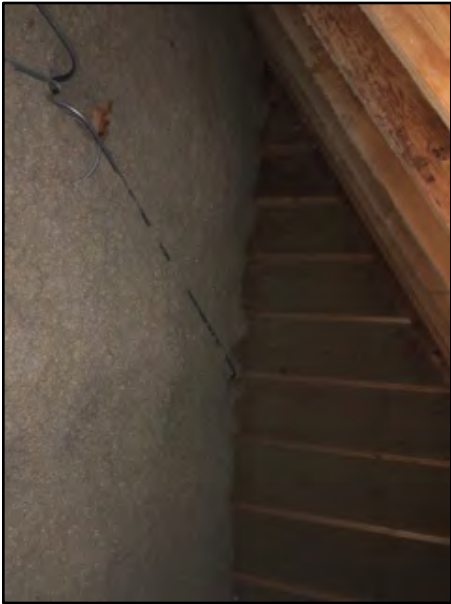
Foundation Types:	Crawl Space
Foundation Material:	Poured Concrete
	Condition: Marginal
Floor Structure:	Wood Frame
	Condition: Not fully visible
Wall Structure:	Wood Frame
	Condition: Not fully visible
Signs of Water Penetration:	Stains

Water is destructive and any home without 3 foundation protections - gutters, positive grade and drain tiles - is subject to water penetration.

(Structure continued)

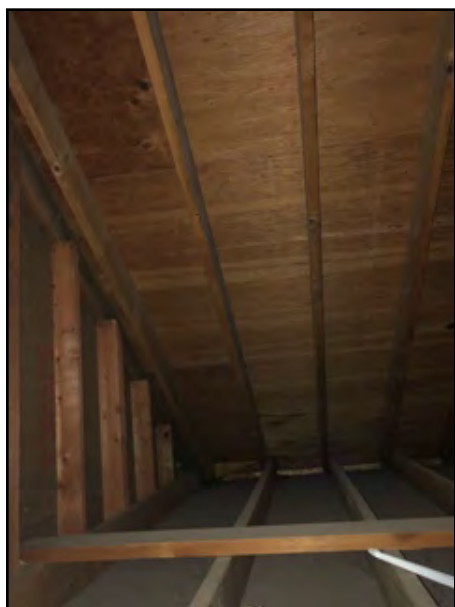
Attic

Images of Main Attic:



(Attic continued)

Images of Garage Attic:



Attic Entry:

Roof Framing Type:

Roof Deck Material:

Ventilation :

Insulation:

Hallway, Garage

Joist and Rafters

Condition: Satisfactory

Plywood

Condition: Satisfactory

Metal

Condition: Satisfactory

Fiberglass Batts, Blown In Cellulose

Condition: Satisfactory

(Attic continued)



Comment 7:

Electrical wires should be supported by proper hangers.



Figure 7-1



Figure 7-2



Comment 8:

There is frost buildup on the front wall of the attic. Damage to the front exterior in this area has been temporarily repaired with 2x4 boards. We recommend the front of the home and this section of attic be evaluated for repair by a qualified building contractor to prevent further water damage.

(Attic continued)



Figure 8-1



Comment 9:

The bathroom exhaust vents have been detached from the ductwork. Bath vents should be ducted to the outdoors to reduce the risk of moisture and mold problems.



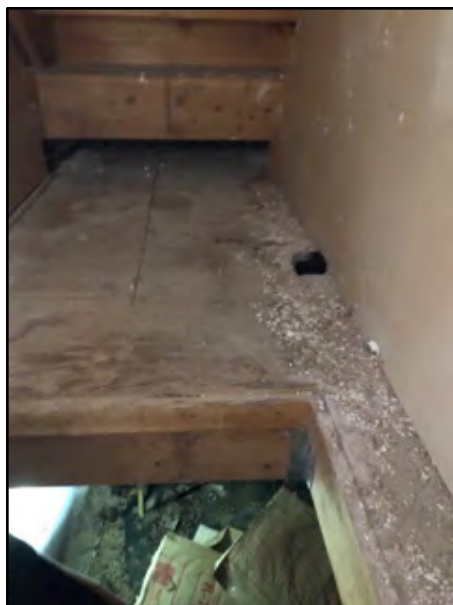
Figure 9-1

(Structure continued)

Crawlspace

If the clearance from the ground to the bottom of the joists is less than 36", or other adverse conditions exist, the inspector is not obligated to enter the crawl space.

Images For Reference:



Inspection Method:
Vapor Retarder:

Inside
Partial
Condition: Marginal

(Crawlspace continued)

Underfloor Insulation:	None
Ventilation Present:	Condition: Marginal
Moisture Condition:	Yes
	Condition: Satisfactory
	Dry



Comment 10:

There is a saddle valve that is not in use. Saddle valves are commonly used for refrigerator ice maker water supply but they are inherently unreliable. There is evidence of past water leaks below. Area was dry at the time of the inspection.



Figure 10-1



Figure 10-2

(Crawlspace continued)



Comment 11:

There is a rusty gas pipe and evidence of a past water leak. Dry when inspected.



Figure 11-1

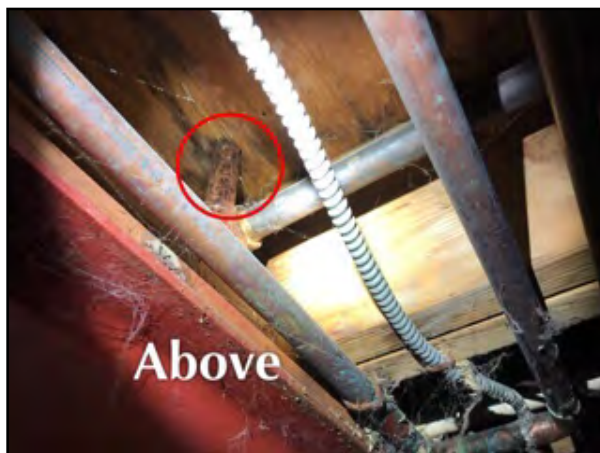


Figure 11-2



Comment 12:

There is evidence of rodent activity. We recommend evaluation by a pest control professional.



Figure 12-1



Figure 12-2

(Crawlspace continued)

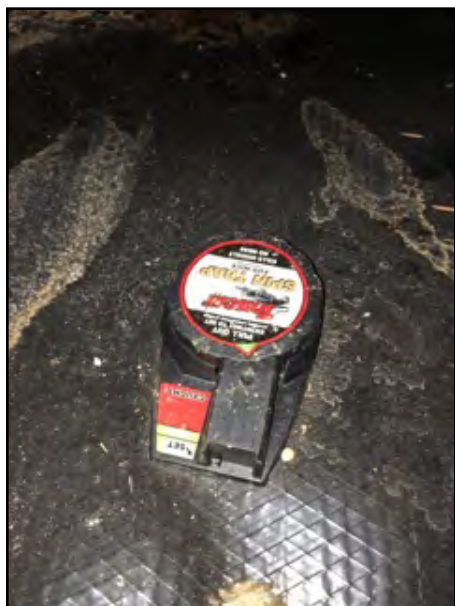


Figure 12-3



Comment 13:

Dryer vents should have smooth metal interior to reduce the risk of lint buildup and allow for routine cleaning. Dryer lint is a combustible material. Dryer exhaust ducts should be kept clean for safety.



Figure 13-1

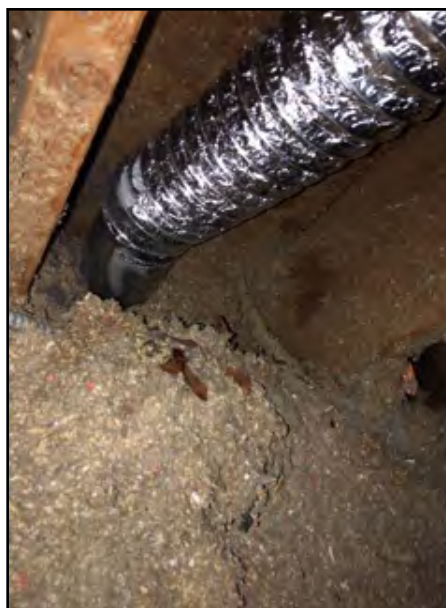


Figure 13-2

(Crawlspace continued)



Comment 14:

There are lengths of armored (BX) electrical wires that are not properly supported. We recommend electrical branch wiring in the crawlspace be evaluated by a qualified electrician.



Figure 14-1



Figure 14-2

(Crawlspace continued)



Comment 15:

The gas line feeding the west fireplace has no accessible shutoff.



Figure 15-1



Figure 15-2



Comment 16:

There is an active leak and heavy corrosion on a copper water supply pipe in the south central part of the crawlspace. We recommend all water supply fittings in the crawlspace be evaluated by a licensed plumber. Active leaks should be repaired promptly.

(Crawlspace continued)



Figure 16-1



Figure 16-2



Figure 16-3

(Crawlspace continued)



Comment 17:

There is galvanic corrosion on the water pipes at numerous joints and fasteners. We recommend all visible water pipes be evaluated by a qualified plumber. Any improper hangers should be replaced with correct ones to reduce the risk of electrolysis and eventual leaks.



Figure 17-1



Figure 17-2



Figure 17-3

(Crawlspace continued)



Comment 18:

There are loose, poorly supported and uninsulated HVAC ducts in the crawlspace. Signs of water below ducts can indicate poor management of condensate runoff. We recommend ductwork be evaluated by a licensed HVAC professional. See comments on HVAC "distribution" section of report.



Figure 18-1



Figure 18-2



Figure 18-3

(Crawlspace continued)



Comment 19:

There is a leak at a union in the black waste line in the crawlspace. We recommend evaluation for repair by a qualified plumber.



Figure 19-1



Figure 19-2



Comment 20:

There are 3 or more cracks in the foundation. These should be evaluated for repair by a qualified basement waterproofing/structural professional.



Figure 20-1



Figure 20-2

(Crawlspace continued)

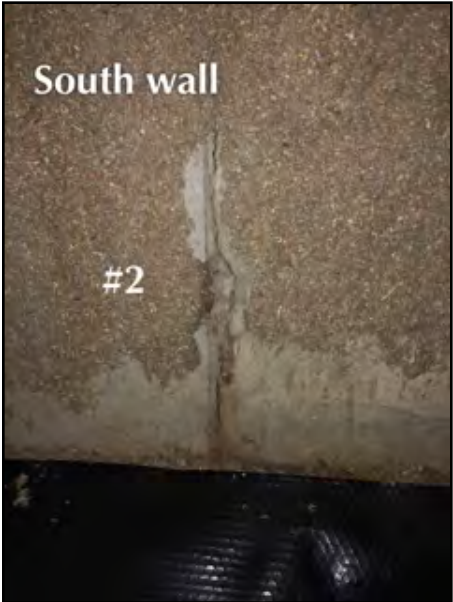


Figure 20-3



Figure 20-4



Figure 20-5



Figure 20-6

(Crawlspace continued)



Comment 21:

The main floor toilet is loose and leaking on to the HVAC ductwork below. We recommend repair by a qualified plumber and professional cleaning of the ductwork.



Figure 21-1



Figure 21-2



Comment 22:

The joist below the main floor toilet has been improperly notched to accommodate the waste drain. The remaining joist has split through. This should be evaluated by a qualified building contractor prior to repairs of the toilet.

(Crawlspace continued)



Figure 22-1



Figure 22-2



Comment 23:

There is an incorrectly installed p-trap/vent in the main waste drain. This should be removed by a qualified plumber to prevent toxic sewer gasses from entering the crawlspace.

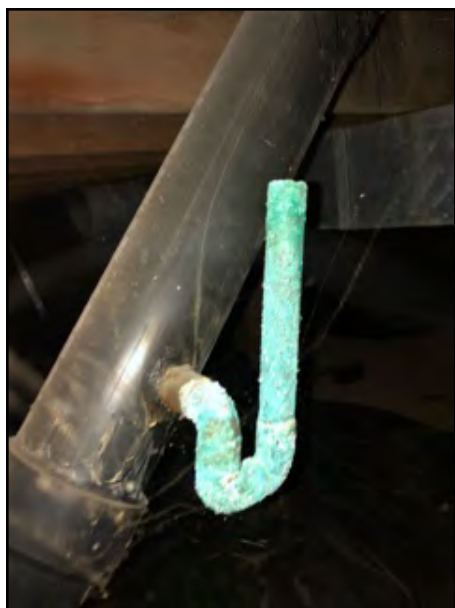


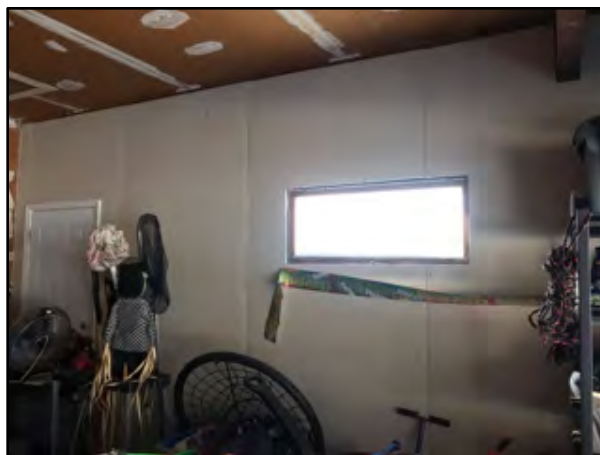
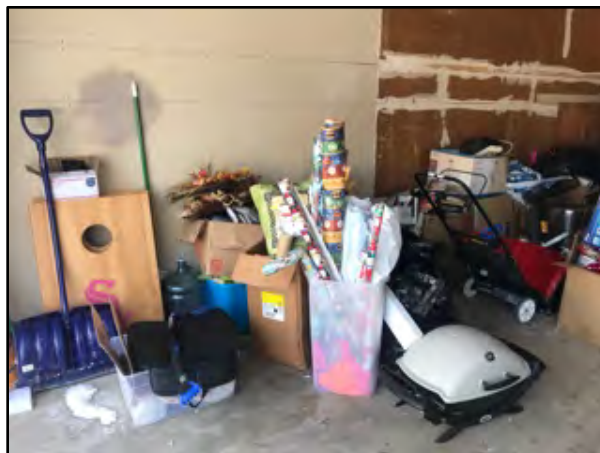
Figure 23-1



Figure 23-2

Garage

Garage images for reference :



Unable to fully view:
Garage Type:

Garage Size:
Garage Door Type:

Due to personal items
Attached
Condition: Satisfactory
2.5 car
Metal
Condition: Satisfactory

(Garage continued)

Garage Window Type :	Picture Condition: Further Evaluation Required
Door Opener:	Chain Drive Condition: Satisfactory
Garage Electrical:	Yes, Not GFCI
Opener Safety Feature:	Light Beam Condition: Satisfactory
Self Closing Door To Home:	Yes



Comment 24:
light switch is missing cover plate.



Comment 25:
All garage outlets require GFCI outlets.

Structure

Wall Structure:	Wood Framed Condition: Not fully visible
Ceiling Structure:	Truss Condition: Satisfactory
Roof Structure:	Wood Framed Condition: Satisfactory

Exterior

Exterior Covering:	Same as House, Vinyl Condition: Satisfactory
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The visible condition of exterior coverings, trim and entrance are inspected with respect to their effect on the condition of the building.

(Garage continued)

Roofing

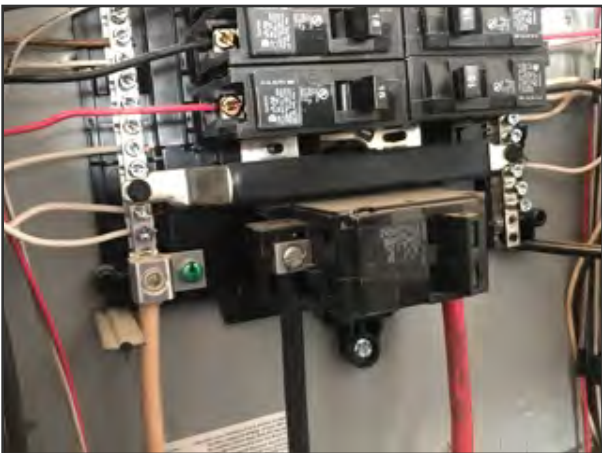
Electrical

The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

Images of electrical service drop and panel:



(Electrical continued)



Type of Service:	Underground
Service Panel Location:	Garage
Service Panel Manufacturer:	Siemens
Overcurrent Protection:	Condition: Satisfactory Breakers Condition: Satisfactory

(Electrical continued)

Service Line Material:	Aluminum Condition: Satisfactory
Service Voltage:	120 volts
Service Amperage:	100 amps
Service Panel Ground:	Unknown Not Visible
Branch Circuit Wiring:	Sold copper Condition: Satisfactory
GFCI/AFCI Breakers:	Yes

The number of amps is an approximation. Consult an electrician for the exact number

Detectors

Carbon Monoxide Detectors:	Battery, Hard wired Condition: Repair or Replace
Smoke Detectors:	Battery, Hard wired Condition: Repair or Replace



Comment 26:

Due to the limited life span of detectors and unknown age of current equipment, we recommend installing new CO detectors on every floor and new Smoke detectors on every floor and in every bedroom upon taking possession.

(Detectors continued)



Figure 26-1



Comment 27:

The upper hall has no smoke or CO detector.

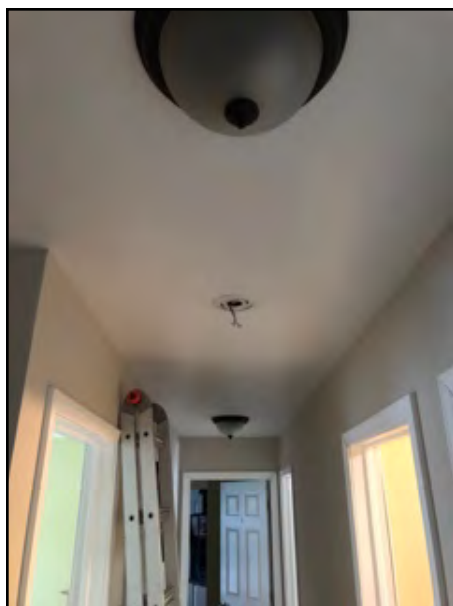


Figure 27-1

Carbon monoxide and smoke detectors are required in every home and new detectors should be installed at the time of closing.

HVAC

HVAC System Type: Central Split System
Thermostat: Satisfactory

The heating/cooling system has 3 parts: production, distribution, and exhaustion. These parts work together and all should be checked during a heating/cooling evaluation. The changing or altering of any one part may necessitate the changing or altering of others. The HVAC professional should make the final determination.

Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Images of heating equipment:



(Heating continued)



Location:	Hallway, Utility room
Type of Equipment:	Forced Air
	Condition: Satisfactory
Manufacturer:	Goodman
Approximate Age:	6 Years (2013)
Heating Fuel:	Gas
Heat Exchanger:	Not visible
	Condition: N/A
Fuel Shut-off:	Within sight of equipment
	Condition: Satisfactory
Power Disconnect :	Within sight of equipment
	Condition: Satisfactory
Filter Type:	Disposable
	Condition: Satisfactory
Type of Distribution:	Metal Ducting, See Venting System
	Condition: Further Evaluation Required
Gas Leak:	None detected

Furnaces over 10 years old should be checked, cleaned and serviced yearly by a licensed contractor.

(HVAC continued)

Cooling

The cooling system is inspected by operation of the equipment by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of cooling system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Not Inspected :

Images of the exterior condensing unit:

Due to inoperable outside temperature



(Cooling continued)



Condenser Make:	Goodman
Condenser Approximate Age:	6 Years (2013)
Power Disconnect:	Near exterior condensing unit
	Condition: Satisfactory
Refrigerant:	R-410A
Refrigerant Lineset:	Yes
	Condition: Satisfactory
Condensate Drainage:	To Floor Drain
	Condition: Satisfactory

Air conditioners over 10 years old and heat pumps over 5 years old should be checked, cleaned and serviced yearly by a licensed contractor.

(HVAC continued)

Distribution System

The venting system is inspected visually. The capacity or adequacy of the system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if there are any questions.A

Type of system(s):	Metal Ducting
Time of Installation:	Condition: Repair or Replace
Location(s):	Installed during construction of the property
Insulated in unconditioned space:	Crawl space, Hidden in walls, Hidden in flooring
	Condition: Satisfactory
	Not insulated



Comment 28:

One of the supply ducts in the crawlspace is not correctly installed. Conditioned air is being supplied to the crawlspace rather than the kitchen heat register above. We recommend the ductwork in the crawl space be evaluated by a HVAC professional.



Figure 28-1



Figure 28-2

(Distribution System continued)



Comment 29:

Recommend ductwork in all unconditioned spaces be insulated for a more efficient distribution.



Figure 29-1



Figure 29-2



Figure 29-3

Plumbing

The plumbing system is inspected visually and by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of the home inspection.

View of gas meter and main gas shut-off:



View of main water supply shut-off:



Water Service:

Public

Supply Pipe Material:

Copper

Location of Main Water Shutoff:

Condition: Repair or Replace

Sewer System:

Crawlspace

Public

(Plumbing continued)

Waste Pipe Material:	PVC, Cast Iron
Sump Pump:	Condition: Satisfactory
	Standard Cover
	Condition: Repair or Replace
Location of Fuel Shutoff:	At Meter



Comment 30:
The check valve in the sump drain line is leaking.

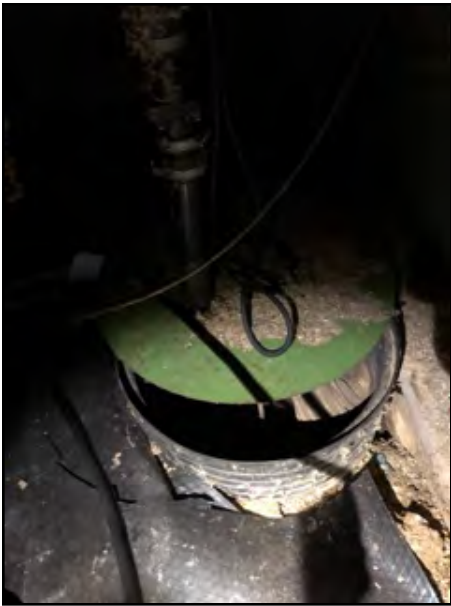


Figure 30-1



Figure 30-2

(Plumbing continued)



Figure 30-3

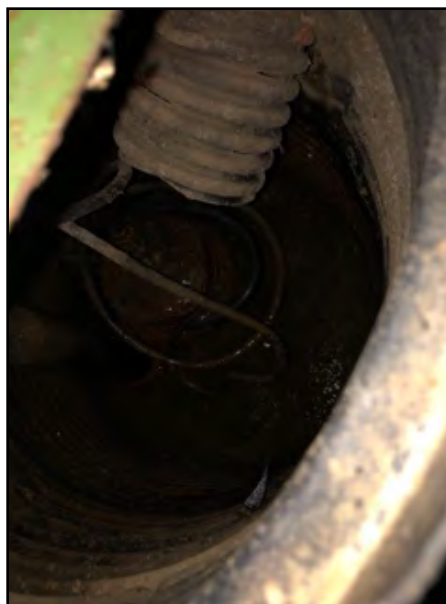


Figure 30-4

Plumbing leaks always begin slowly and take time to fully reveal themselves. We are limited to the amount of water we can run during an inspection. The passage of time between the inspection and the closing makes it crucial that all fixtures be operated and checked at the time of the walkthrough.

Water Heater

Images of water heater :

(Water Heater continued)



Manufacturer:

General Electric

Fuel:

Natural Gas

Capacity:

40 gal

Approximate Age:

6 Years (2013)

Temp & Pressure Relief Valve:

Present With Blow Off Leg

Condition: Satisfactory

Fuel Disconnect:

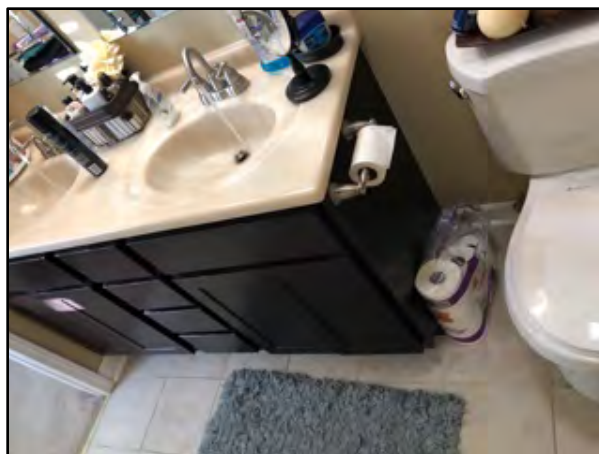
In Same Room

Bathrooms

Plumbing leaks usually develop slowly and take time for evidence to develop. We are limited to the amount of water that we can run during the course of the inspection. The passage of time between inspection and closing make it critical for all fixtures to be operated and evaluated during the final walk-through. Plumbing leaks may not be evident during the course of the inspection if the property is vacant due to lack of normal usage.

Bathroom (Master Bedroom)

Bathroom images for reference :



(Bathroom (Master Bedroom) continued)



Location:	Master Suite
Door Type:	Hinged
	Condition: Satisfactory
Walls:	Painted Drywall
	Condition: Satisfactory
Water Pressure:	Satisfactory
Drainage :	Marginal
Shower:	In Tub
	Condition: Satisfactory
Shower Walls:	Tile
	Condition: Satisfactory
Shower Facuet / Head:	Satisfactory
Bath Tub:	Recessed
	Condition: Satisfactory
Sink(s):	Double Vanity
	Condition: Satisfactory
Sink(s) Facuet :	Satisfactory
Ventilation Type:	Ventilator
	Condition: Repair or Replace
Toilet:	Standard Tank
	Condition: Satisfactory
Floor:	Tile
	Condition: Satisfactory
Electrical Wiring:	Correct

(Bathroom (Master Bedroom) continued)

GFCI Protection:

Outlets

Condition: Satisfactory

Heat Source:

Yes

Condition: Satisfactory



Comment 31:

The drainage in the tub is not sufficient to keep up with the flow of water.

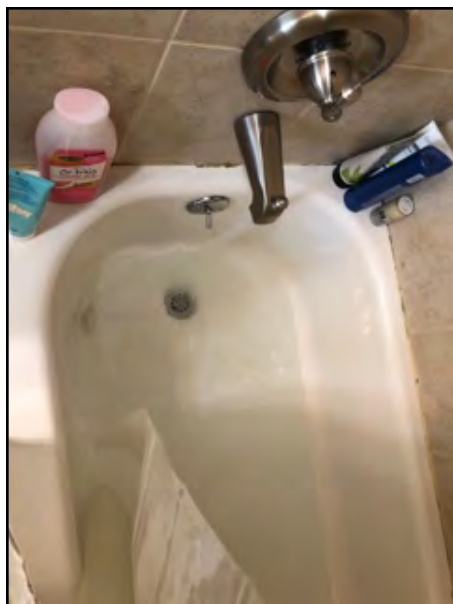


Figure 31-1



Comment 32:

Gaps in the shower wall should be sealed with a proper silicone caulk to prevent water damage behind the wall.

(Bathroom (Master Bedroom) continued)



Figure 32-1



Comment 33:
There is failing caulk where the tub meets the wall.



Figure 33-1

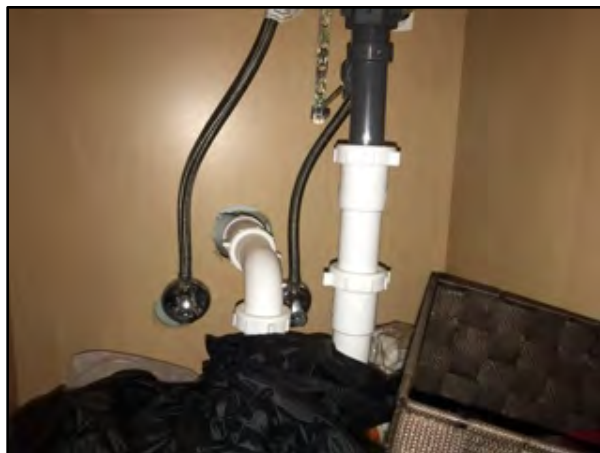
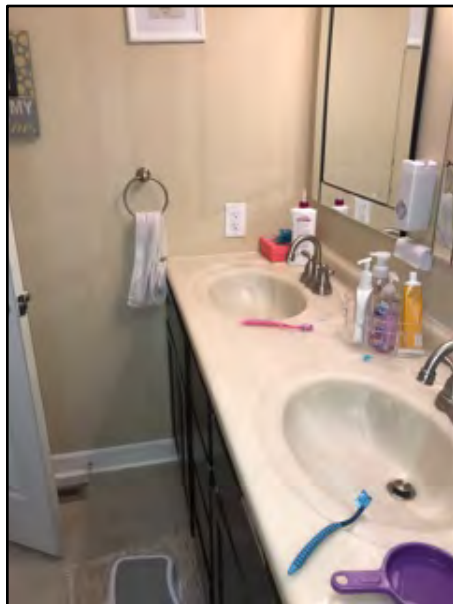


Figure 33-2

(Bathrooms continued)

Bathroom #2

Bathroom images for reference :



Location:
Door Type:

Walls:

Water Pressure:
Drainage :

Upper Level
Hinged
Condition: Satisfactory
Painted Drywall
Condition: Satisfactory
Marginal
Satisfactory

(Bathroom #2 continued)

Shower:	In Tub Condition: Satisfactory
Shower Walls:	Tile Condition: Satisfactory
Shower Facuet / Head:	Satisfactory
Bath Tub:	Recessed Condition: Satisfactory
Sink(s):	Double Vanity Condition: Satisfactory
Sink(s) Facuet :	Satisfactory
Ventilation Type:	Ventilator Condition: Satisfactory
Toilet:	Standard Tank Condition: Repair or Replace
Floor:	Tile Condition: Satisfactory
Electrical Wiring:	Correct
GFCI Protection:	Outlets Condition: Satisfactory
Heat Source:	Yes Condition: Satisfactory

(Bathroom #2 continued)



Comment 34:

The toilet is loose at the floor and requires sealant at the base.



Figure 34-1

Half Bathroom

Bathroom images for reference :



Location:

Main Level

(Half Bathroom continued)

Door Type:	Hinged Condition: Satisfactory
Walls:	Painted Drywall Condition: Satisfactory
Water Pressure:	Satisfactory
Drainage :	Satisfactory
Sink(s) Faucet:	Satisfactory
Sink(s):	Single Vanity Condition: Satisfactory
Toilet:	Standard Tank Condition: Repair or Replace
Floor:	Wood laminate Condition: Satisfactory
Ventilation Type:	Ventilator Condition: Satisfactory
Electrical Wiring:	Correct
GFCI Protection:	Outlets Condition: Satisfactory
Heat Source:	Yes Condition: Satisfactory

(Half Bathroom continued)



Comment 35:

The toilet is loose at the floor and requires sealant at the base.



Figure 35-1

Kitchen

Images of the kitchen:



Cabinets:

Laminated

Condition: Satisfactory

Flooring:

Wood laminate

Condition: Marginal

(Kitchen continued)

Ceiling :	Painted drywall Condition: Repair or Replace
Countertops:	Laminated Condition: Satisfactory
Sink:	Double Condition: Satisfactory
Faucet:	Satisfactory
Water Drainage:	Satisfactory
Electrical Wiring:	Correct
GFCI Protection :	Yes Condition: Satisfactory
Heat Source:	Yes Condition: Satisfactory
Kitchen Window:	Double hung Condition: Satisfactory
Gas Leak:	None detected



Comment 36:

The shut off valve for the stove gas line is inoperable. The black pipe gas line is too long and obstructing the stove from seating flush.



Figure 36-1



Figure 36-2

(Kitchen continued)



Figure 36-3



Figure 36-4



Comment 37:

Signs of rodents /mice dropping behind the stove. Recommend having a licensed exterminator to evaluate.

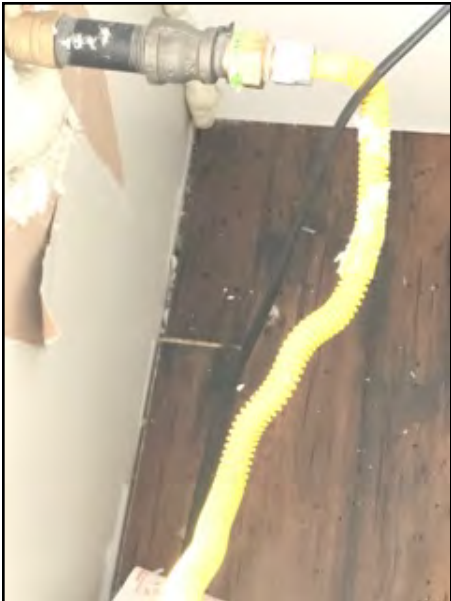


Figure 37-1

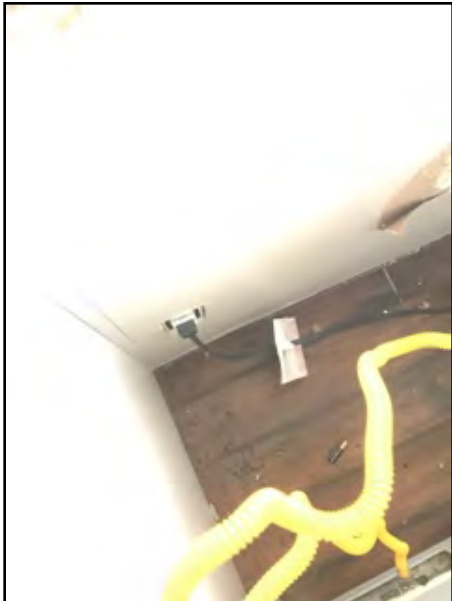


Figure 37-2

(Kitchen continued)


 **Comment 38:**
Settlement crack with signs of past moisture along the tapping of the ceiling drywall.



Figure 38-1

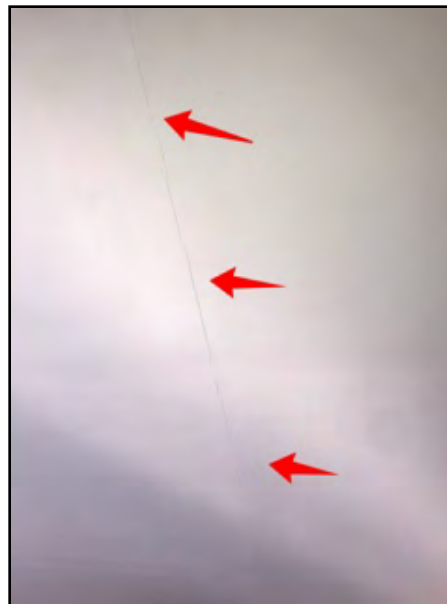


Figure 38-2

The appliances were tested solely to see if they operate and not for the quality of their performance.

Appliances

This is a courtesy check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Range / Oven:	Satisfactory
Microwave Hood Combo:	Satisfactory
Refrigerator:	Satisfactory
Dishwasher:	Repair or Replace
Disposal:	Satisfactory

(Appliances continued)



Comment 39:

A high drain loop is needed to be installed 32" above the floor level or an air gap must be installed. To prevent a back flow of dirty water entering the dishwasher.



Figure 39-1



Figure 39-2

Living Room

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. Inspectors are not required, and should not be expected, to move furnishings nor other items during the inspection, disassemble equipment or open wall coverings. A representative number of windows and doors are inspected.

(Living Room continued)

Images for reference:



Unable To Fully View & inspect:

Due to personal items in the room and closet

Floors:

Wood Laminate

Walls:

Painted Drywall

Condition: Satisfactory

Ceiling:

Painted Drywall, Conventional

Condition: Satisfactory

Windows:

Double hung

Condition: Satisfactory

Window Materials:

Aluminum , Vinyl

Heat Source:

Yes

HVAC Return:

Yes

Electrical Wiring:

Correct

Closet Floor:

Wood Laminate

Closet Walls:

Painted Drywall

Condition: Not fully visible

Closet Doors:

Folding

Condition: Repair or Replace

(Living Room continued)



Comment 40:
the closet folding doors are off their track and damaged.



Figure 40-1



Figure 40-2



Comment 41:
East wall outlet is missing a cover plate.



Figure 41-1

(Living Room continued)



Comment 42:

The return vent opening is larger than the vent, allowing heat to escape between the drywalls.



Figure 42-1

Fireplace

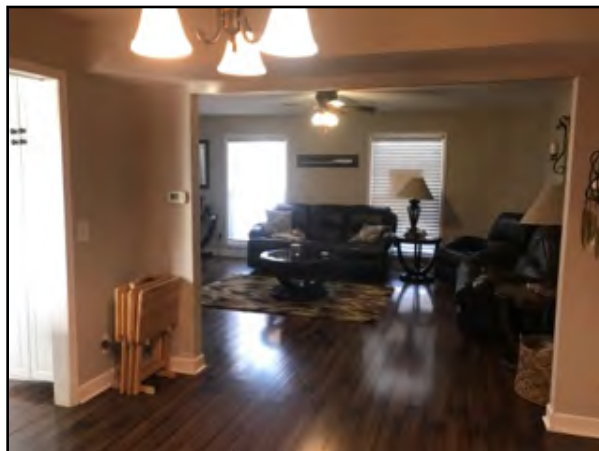
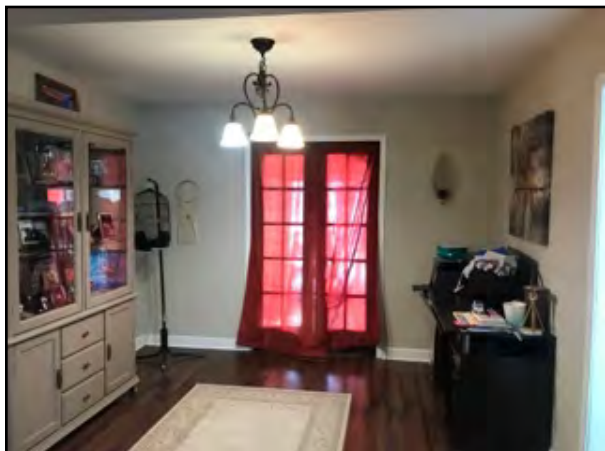
Interior of flues and chimneys are impossible to fully view. A chimney professional should evaluate the flue and the chimney prior to the closing.

Dining Room

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. Inspectors are not required, and should not be expected, to move furnishings nor other items during the inspection, disassemble equipment or open wall coverings. A representative number of windows and doors are inspected.

(Dining Room continued)

Images for reference:



Unable To Fully View & inspect:	Due to personal items in the room and closet
Floors:	Wood Laminate
Walls:	Painted Drywall
	Condition: Satisfactory
Ceiling:	Painted Drywall, Conventional
	Condition: Satisfactory
Door Type:	French
	Condition: Repair or Replace
Heat Source:	Yes
HVAC Return:	Yes
Electrical Wiring:	Correct



Comment 43:

The french doors leading to sun room are interior doors with a large gap, allowing heat to escape to the sun room. The sun room is not heated nor has proper insulation. We recommend having a sealed exterior grade door to prevent the huge heat loss.

(Dining Room continued)



Figure 43-1

Fireplace

Interior of flues and chimneys are impossible to fully view. A chimney professional should evaluate the flue and the chimney prior to the closing.

Sun Room

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. Inspectors are not required, and should not be expected, to move furnishings nor other items during the inspection, disassemble equipment or open wall coverings. A representative number of windows and doors are inspected.

(Sun Room continued)

Images for reference:



Unable To Fully View & inspect:

Floors:

Walls:

Ceiling:

Door Type:

Sliding Door Materials:

Due to personal items in the room and closet

Carpet

Wood paneling

Condition: Repair or Replace

Wood paneling

Condition: Satisfactory

Sliding, French

Condition: Repair or Replace

Aluminum

(Sun Room continued)

Heat Source: No
Electrical Wiring: Correct



Comment 44:
Signs of water penetration on the northeast side of the sun room.



Figure 44-1

(Sun Room continued)



Comment 45:

Signs of water penetration under the carpet of the sun room.

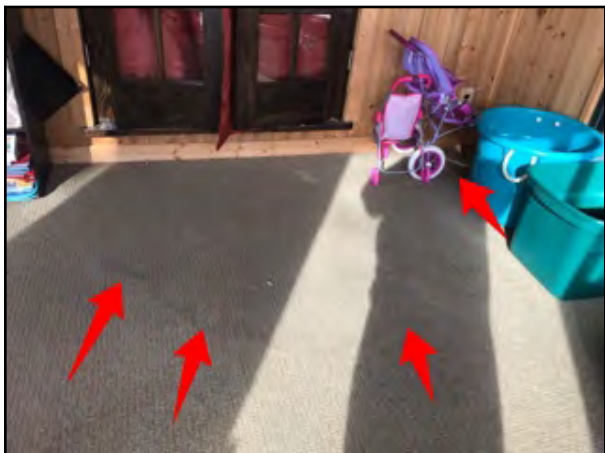


Figure 45-1



Comment 46:

All three sliding screen doors do not latch.



Figure 46-1



Figure 46-2

(Sun Room continued)



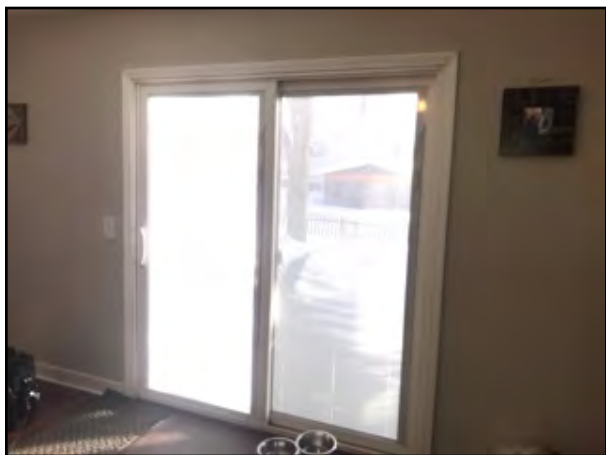
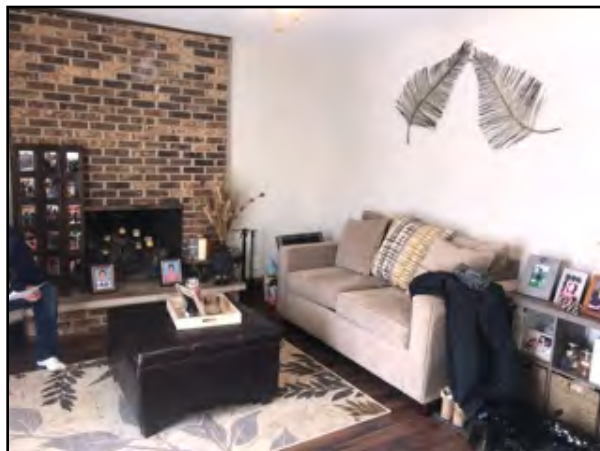
Figure 46-3

Family Room

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. Inspectors are not required, and should not be expected, to move furnishings nor other items during the inspection, disassemble equipment or open wall coverings. A representative number of windows and doors are inspected.

(Family Room continued)

Images for reference:



Unable To Fully View & inspect:

Floors:

Walls:

Ceiling:

Door Type:

Sliding Door Materials:

Due to personal items in the room and closet

Wood Laminate

Painted Drywall

Condition: Satisfactory

Painted Drywall, Conventional

Condition: Satisfactory

Hinged

Condition: Satisfactory

Aluminum , Vinyl

(Family Room continued)

Heat Source: Yes
HVAC Return: Yes
Electrical Wiring: Correct



Comment 47:
Settlement crack in the south wall.



Figure 47-1

Fireplace

Construction:	Masonry Condition: Satisfactory
Fuel Type:	Gas burning, Wood burning Condition: Further Evaluation Required
Combustible Clearance:	Mantle/ Flooring clearance hazard Condition: Satisfactory
Flue Damper:	Not accessible Condition: Further Evaluation Required
Firebox / visible portion of flue:	Dirty Condition: Repair or Replace

(Fireplace continued)



Comment 48:

Recommend a professional to clean and evaluate the fireplace before usage. There is a build up of soot along the walls.



Figure 48-1



Figure 48-2



Comment 49:

A gas supply pipe is installed with in the ash pit but no Gas Starter Access was discovered.



Figure 49-1

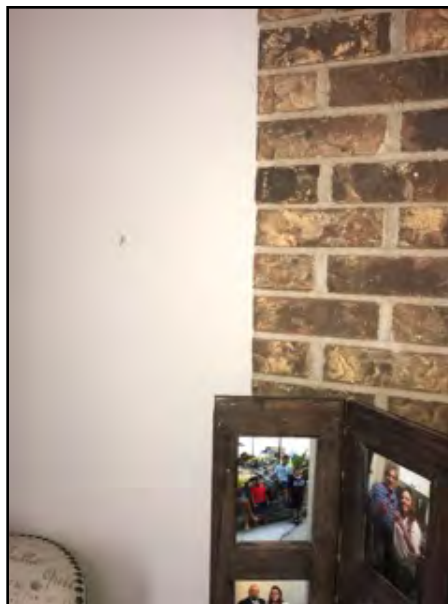


Figure 49-2

(Fireplace continued)



Figure 49-3

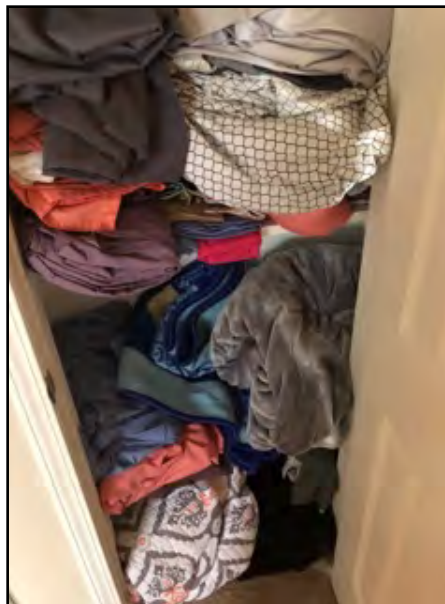
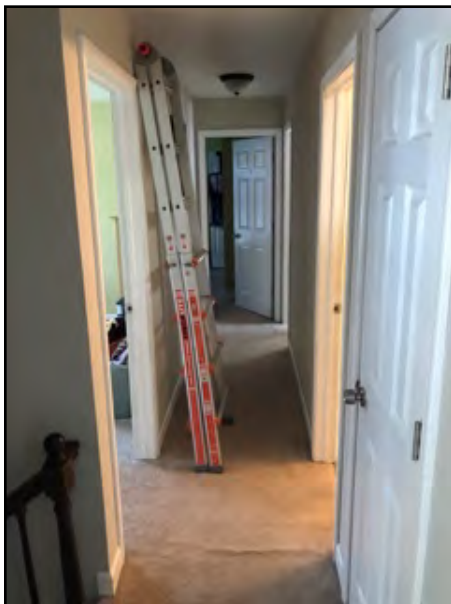
Interior of flues and chimneys are impossible to fully view. A chimney professional should evaluate the flue and the chimney prior to the closing.

Hallway

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors are inspected.

(Hallway continued)

Images for reference :



Floor:	Carpet Condition: Repair or Replace
Stairs:	Carpet Condition: Satisfactory
Banester/ Handrail:	Wood Condition: Repair or Replace
Walls:	Painted Drywall Condition: Satisfactory
Door Types:	Hinged Condition: Satisfactory
Closet Floor:	Condition: Not fully visible
Closet Door Type:	Hinged Condition: Satisfactory
Closet Walls:	Painted Drywall Condition: Not fully visible

(Hallway continued)



Comment 50:

Bunched carpet at the top of the stairs is a potential trip hazard. The carpet should be re-stretched.



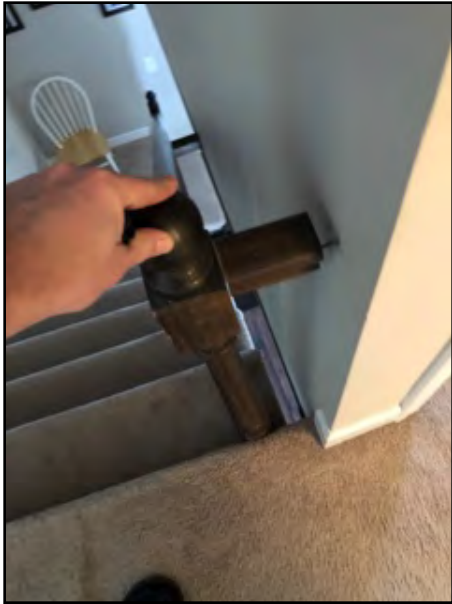
Figure 50-1

Stairs

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items.

(Stairs continued)

Images for reference :



Landing:	Carpet Condition: Satisfactory
Stairs:	Carpet Condition: Satisfactory
Banester/ Handrail:	Wood Condition: Repair or Replace
Walls:	Painted Drywall Condition: Satisfactory

(Stairs continued)



Comment 51:
The handrail is loose.



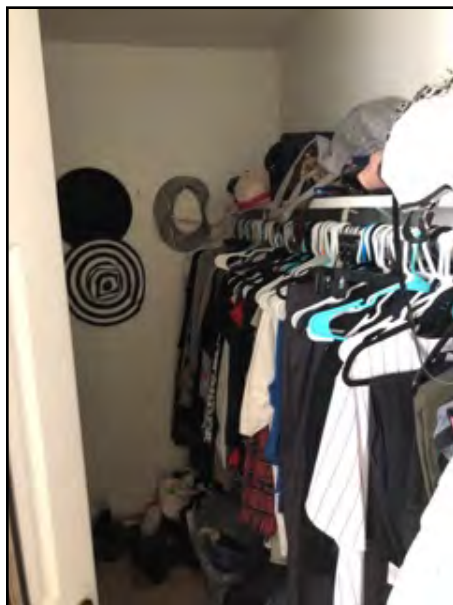
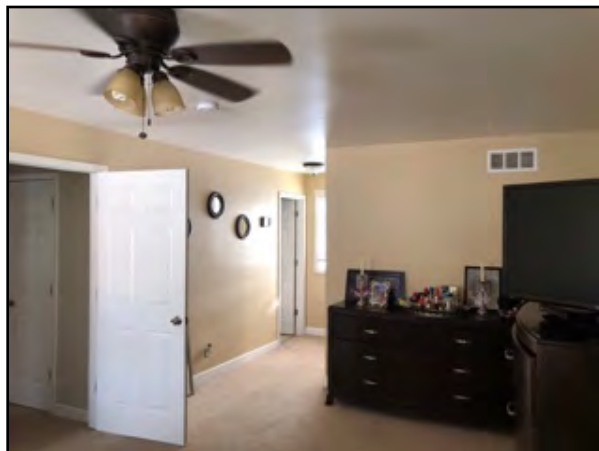
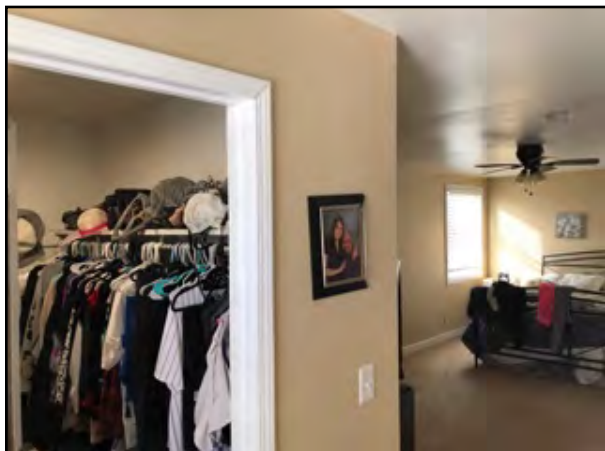
Figure 51-1

Master Bedroom

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors are inspected.

(Master Bedroom continued)

Images for reference :



Unable To Fully View & Inspect:

Floors:

Walls:

Ceiling:

Bedroom Windows:

Window Materials:

Due to personal items in the room and closet

Carpet

Painted Drywall

Condition: Satisfactory

Painted Drywall

Condition: Satisfactory

Double hung

Condition: Satisfactory

Vinyl

(Master Bedroom continued)

Bedroom Door:	Hinged Condition: Satisfactory
Heat Source:	Yes
HVAC Return:	Yes
Electrical Wiring:	Correct
Closet Floor:	Carpet
Closet Walls:	Painted Drywall Condition: Not fully visible
Closet Doors:	Hinged Condition: Satisfactory



Comment 52:
There are missing switch plates.

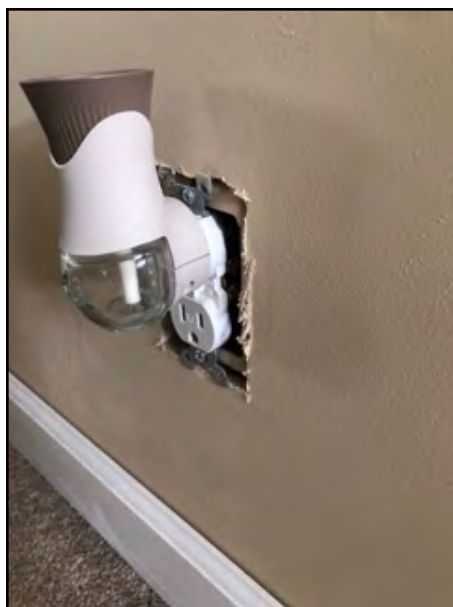


Figure 52-1

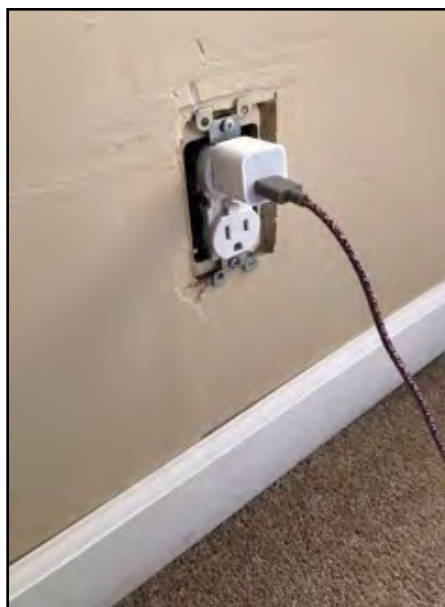


Figure 52-2

(Master Bedroom continued)



Comment 53:
The baseboards are loose.



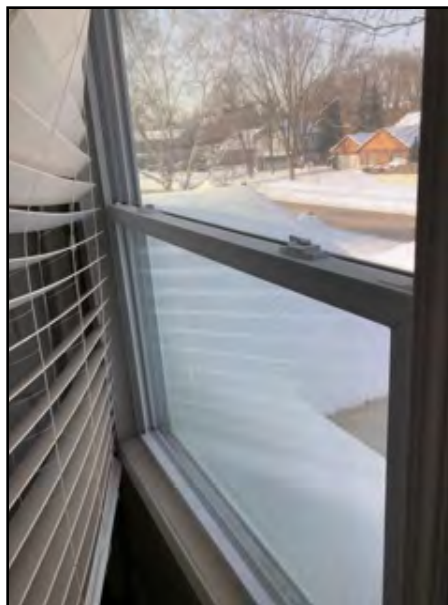
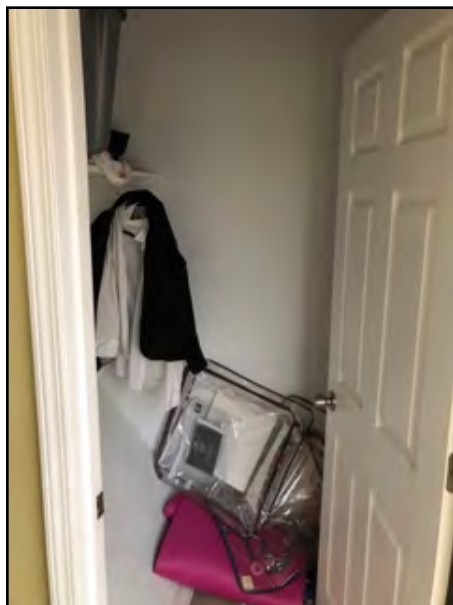
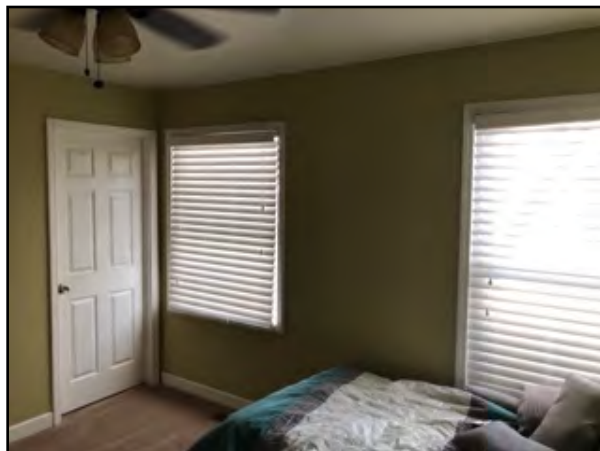
Figure 53-1

Bedroom (North)

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors are inspected.

(Bedroom (North) continued)

Images for reference :



Unable To Fully View & Inspect:

Floors:

Walls:

Ceiling:

Bedroom Windows:

Window Materials:

Due to personal items in the room and closet

Carpet

Painted Drywall

Condition: Satisfactory

Painted Drywall

Condition: Satisfactory

Double hung

Condition: Satisfactory

Vinyl

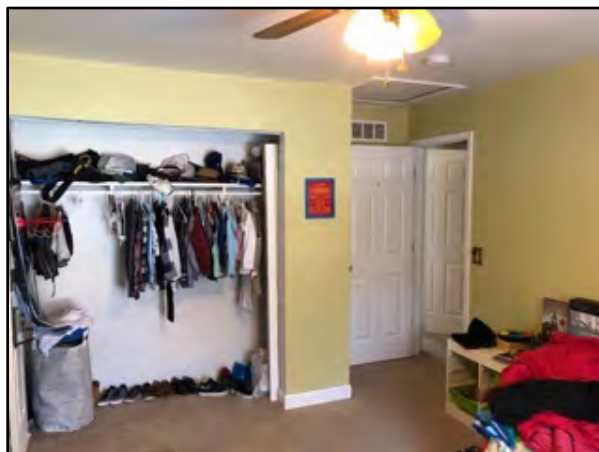
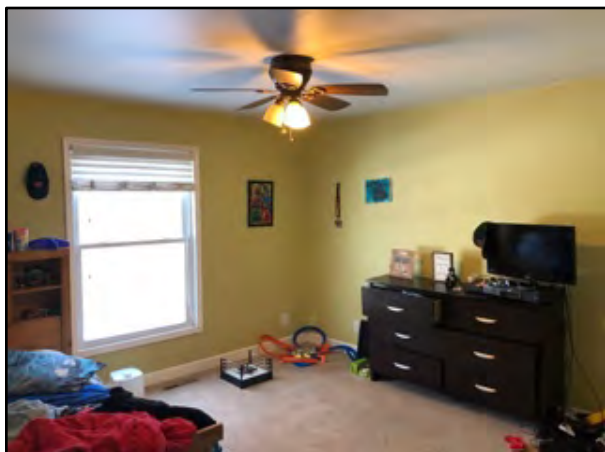
(Bedroom (North) continued)

Bedroom Door:	Hinged Condition: Satisfactory
Heat Source:	Yes
HVAC Return:	Yes
Electrical Wiring:	Correct
Closet Floor:	Carpet
Closet Walls:	Painted Drywall Condition: Not fully visible
Closet Doors:	Hinged Condition: Satisfactory

Bedroom (East)

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors are inspected.

Images for reference :



Unable To Fully View & Inspect:	Due to personal items in the room and closet
Floors:	Carpet
Walls:	Painted Drywall Condition: Satisfactory
Ceiling:	Painted Drywall Condition: Satisfactory

(Bedroom (East) continued)

Bedroom Windows:	Double hung Condition: Satisfactory
Window Materials:	Vinyl
Bedroom Door:	Hinged Condition: Satisfactory
Heat Source:	Yes
HVAC Return:	Yes
Electrical Wiring:	Correct
Closet Floor:	Carpet
Closet Walls:	Painted Drywall Condition: Satisfactory
Closet Doors:	Folding Condition: Repair or Replace



Comment 54:
The closet doors need to be re-hung.

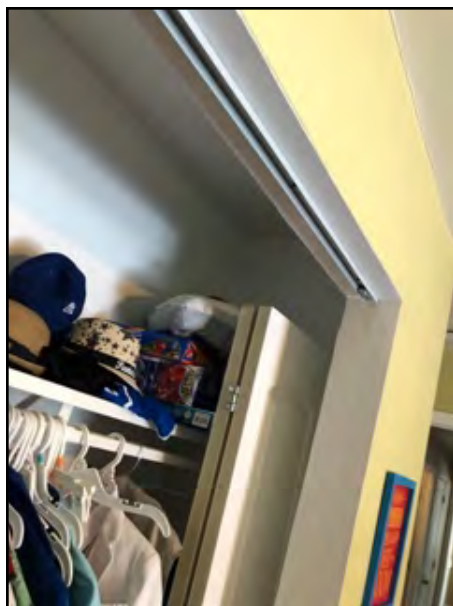
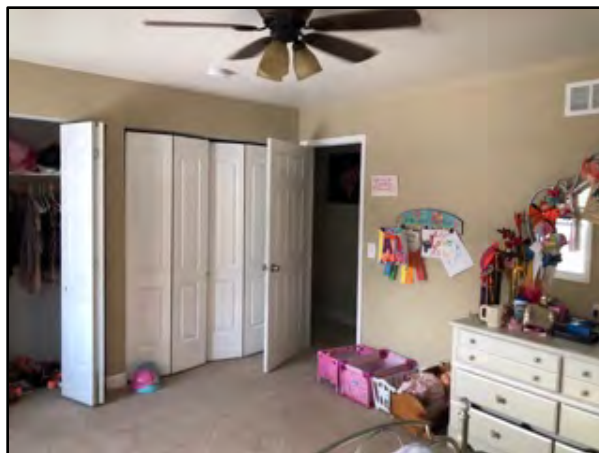


Figure 54-1

Bedroom (South)

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors are inspected.

Images for reference :



Unable To Fully View & Inspect:

Floors:

Walls:

Ceiling:

Bedroom Windows:

Window Materials:

Bedroom Door:

Heat Source:

HVAC Return:

Electrical Wiring:

Closet Floor:

Closet Walls:

Closet Doors:

Due to personal items in the room and closet

Carpet

Painted Drywall

Condition: Satisfactory

Painted Drywall

Condition: Satisfactory

Double hung

Condition: Satisfactory

Vinyl

Hinged

Condition: Satisfactory

Yes

Yes

Correct

Carpet

Painted Drywall

Condition: Satisfactory

Folding

Condition: Repair or Replace

(Bedroom (South) continued)



Comment 55:
The closet doors are loose.



Figure 55-1

Laundry

Image for reference:



Ceiling / Walls:

Drywall

Condition: Satisfactory

Flooring:

Vinyl

Condition: Satisfactory

Door:

Hinged

Condition: Satisfactory

Built In Cabinets:

No

Condition: N/A

(Laundry continued)

Laundry Sink:	No
	Condition: N/A
Dryer Venting:	To Exterior
	Condition: Repair or Replace
GFCI Protection:	No
	Condition: Repair or Replace
Laundry Hook Ups:	Yes
	Condition: Repair or Replace
Washer:	Satisfactory
Dryer:	Satisfactory
Gas Leakage:	None Detected

 Comment 56:
Ground fault circuit interrupter (GFCI) outlets needed in laundry area.



Figure 56-1

(Laundry continued)



Comment 57:

Framing and drywall around the laundry hook up is damaged and exposing pipes.



Figure 57-1



INVOICE

Invoice # 0001389921

P. O. Box 481093 Niles, IL 60714

Address: 649 Wood Dr. Glenview, IL, 60022

John Doe

Date: 02/01/2019

Limited Inspection fee:	\$ 000.00
Realtor Discount	\$ -000.00

Total Due: \$ 000.00

Inspectors Signature:

Date:

Make check payable to: New Horizon Inspection